

Mowbray Farm

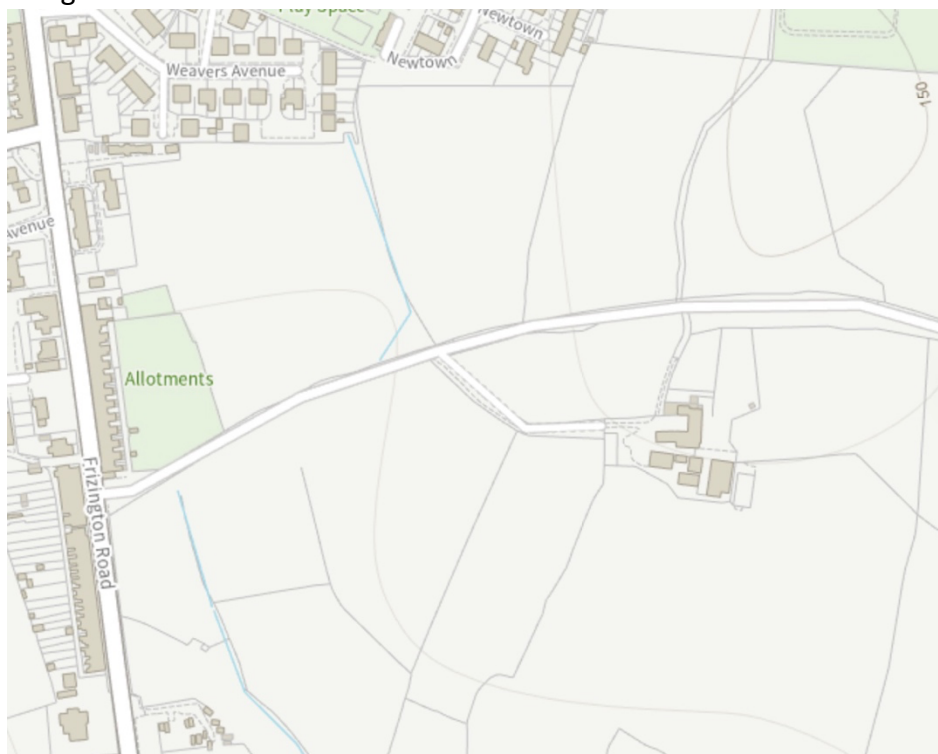
Location

Frizington is a village in Cumbria, England, near the Lake District National Park.

Historically, it was a collection of farms and houses but became a unified village as a result of the mining (both coal and iron ore) opportunities in the area.

It lies by road 4.9 miles (ca. 8 km) east of Whitehaven, 38.2 miles (ca. 61 km) southwest of Carlisle and 44.4 miles (ca. 71 km) north of Barrow-in-Furness.

Mowbray farm is on the southern outskirts of Frizington town centre in an elevated position consisting of a large farmhouse with barns attached and several detached out buildings and a large area of land. Great Views to the east and south Lake District falls.



Proposals

The existing farmhouse remains. The proposal is to convert the existing redundant farm buildings into various dwellings.

The proposals are to be submitted under two separate applications: -

(A) under Class Q – agricultural building to dwelling for the three agricultural sheds.

Class Q was seen by Government as a way of assisting the housing shortage normally found in rural areas, without endangering our open countryside through the conversion of existing buildings.

It enabled landowners to convert existing agricultural buildings into homes without the need for full planning permission, instead prior approval is required.

(B) Conversion of the barn attached to the farm house which falls outside of Class Q size limitation.



Barn 1 – is a large steel frame shed with blockwork walls at low level and steel cladding above with a steel-clad roof. The size is approximately 14.3 x 9.2 x 6.1m high. Proposal is to convert to provide 2 semi-detached three bed dwellings with living accommodation at first floor and balcony to rear.



Barn 2 – Single storey facing brick under a metal clad roof.
Proposal is to demolish to create parking area.

Barn 3 Single storey – Single storey facing brick under a metal clad roof.
Proposal is to demolish to create parking area.

Barn 4 – Single storey Blockwork under a metal clad roof.
Proposal is to convert to a two-bed bungalow.



Barn 5 – Two storey large steel frame shed with steel cladding and steel-clad roof.
Proposal is to convert to provide 2 semi-detached 3/4 bed dwelling with living accommodation at first floor and in-built balcony.



Layout

The proposals take advantage of the of the existing buildings layout and access with private gardens and parking adjacent each property. The proposed building floor plan layout takes full advantage of the Lake District views and south and east aspects.

The design proposals are contained within the existing building footprint and the height is generally retained with only a small increase in height due to composite insulated roof panel replacement.

Appearance

The buildings are render finish at low level and reclad with dark grey metal cladding and slate grey roof covering to give an attractive contemporary farm building appearance.

Dwellings will be highly insulated with timber frame internal leaf and heating provided by air source heat pump together with solar PV panels to the roof.

Access

The farm is accessed off Frizington Road/ Lane End onto an existing single-track access serving the farm. The access track will be extended with the addition of passing bays. The farmyard area is a gravel finish which will be refurbished. Parking areas will be surfaced with permeable block paving linked to paved areas leading to the dwelling entrance doors.

Internal layouts will conform to Building Regulation Document Part M.