

Listed Building Consent

Design & Access Statement

46 Lowther Street, Whitehaven

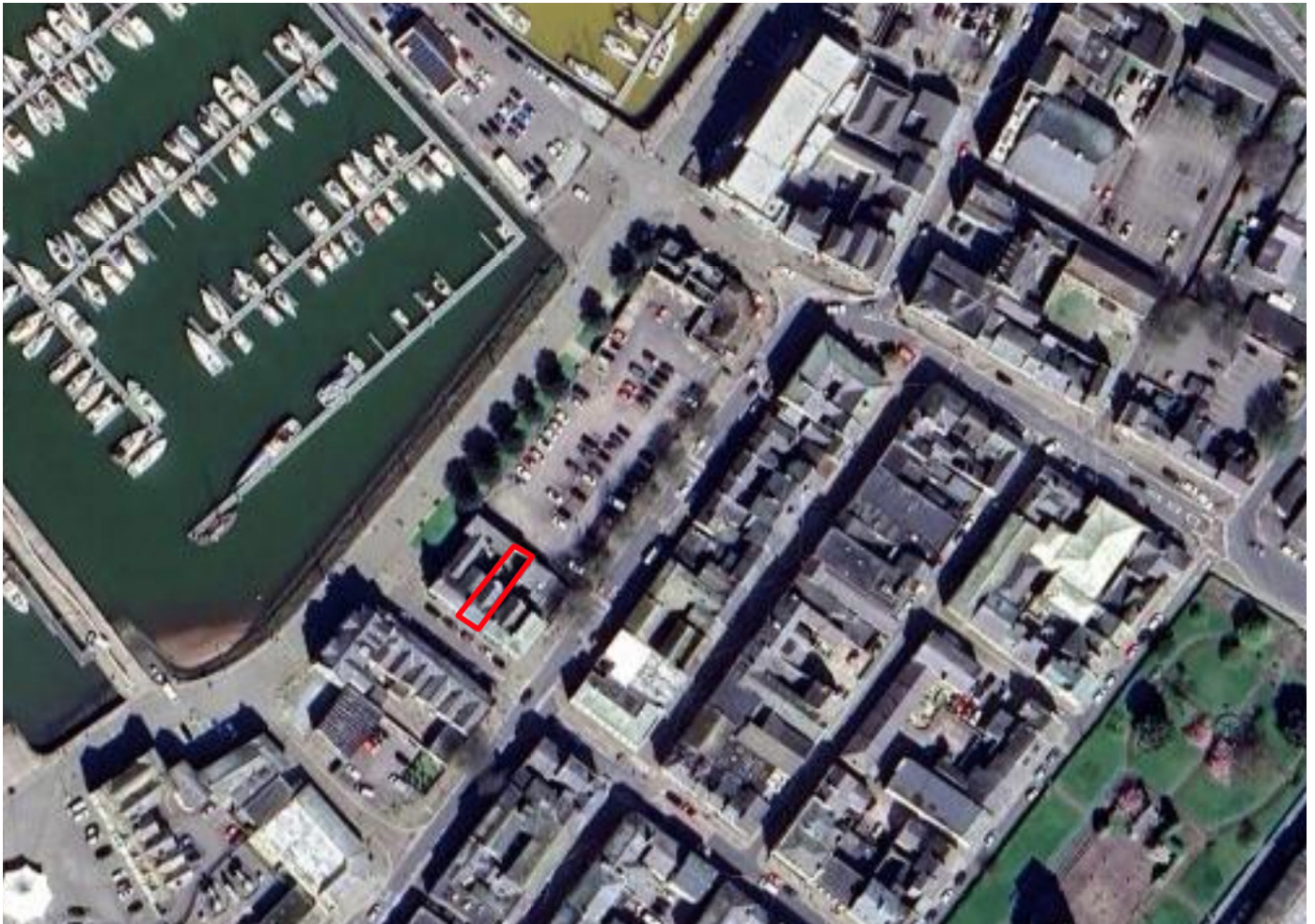


SOUTH NORTH GROUP



Disc Zone
Mon-Sat
8.30 am-6pm
hour
No parking
within 1 hour
Permit holders & exempt

46 Lowther Street Front Elevation



46 Lowther Street Location

Whitehaven Conservation Area Map



Location of Whitehaven Town Centre and High Street Conservation Areas

46 Lowther Street Listed Building Details

Official list entry

Heritage Category: Listed Building

Grade: II

List Entry Number: 1086763

Date first listed: 13-Sep-1972

List Entry Name: 44-47, LOWTHER STREET

Statutory Address 1: 44-47, LOWTHER STREET

Details

LOWTHER STREET 1. 1814 (North East Side) Nos 44 to 47 (consec) NX 9718 SW 6/79

II GV

2. C18. Similar in style to Nos 39 to 42 (consec) but simpler in detail. 3 storeys, stuccoed. Nos 44 and 45 are identical, with inset doors in moulded openings, 1 sash window on ground floor and 2 on each upper floor. No 46 has a panelled door up 3 steps with fanlight, in moulded doorcase with detached pediment, and a triple sash window on each floor. No 47 has a panelled door up 3 steps, with round-headed fanlight, in a round moulded arch on consoles, and 2 sash windows on each floor.

Nos 44 to 48 (consec) and Nos 37 to 42 (consec) form a group.

46 Lowther Street Listed Building Consent Planning Application

Introduction

46 Lowther Street is a Grade II Listed Building and is located within the Whitehaven Conservation area.

Proposals

Externally, a Light-well is to be created to the Front Basement window, this will allow for the existing basement window to be larger, providing increased natural light and ventilation into the front basement room. 47 Lowther street features 2 such light-wells to the front, the proposed detailing and materials will match those existing at number 47. The replacement window will be a Timber Sash Window, finished in white, to match existing.

To the rear of the property there is an existing external staircase leading to a timber doorway that provides access to the Basement. This stairwell is covered by a lift-able timber hatch. It is proposed to remove the timber hatch and replace the door with a Timber Sash Window, finished in white, to match existing. It is proposed for light-well to also be enlarged, with a rendered retaining wall. The existing steps will be retained as a potential means of escape.

Internally, at first floor level, a section of wall is to be removed to create an office/study area forming part of the main living space for the dwelling. This will improve the quality of the space by providing dual aspect windows, front and rear, to the living room. A small WC is also provided.

Figure 48, later in this document, provides a historical plan for 47 Lowther street, it is thought that 46 Lowther street was once similar. Originally there was an internal staircase down to the Basement, but this has been removed at some point and nothing remains of the stairs. It is proposed to reinstate an internal staircase to the basement and for the basement to be refurbished bringing it to a habitable standard and creating 2x ensuite bedrooms. The original basement stair entered into the front room of the property at ground floor, however with modern building regulations it is required that a basement staircase for a dwelling leads to a fire protected exit. The new staircase has been designed to lead to the main ground floor hallway.

The main staircase of the property is also to be remodelled. The existing staircase is not original, or in the original location and the stairs provide little feature or character to the property, with the exception of the hardwood handrail that does provide a somewhat pleasing curved finish.

The new staircase will be closer to the location of the original stair and has a wide spiral design, this creates the opportunity to enhance the internal character of the property. The new stair will also feature white painted timber spindles with a curved timber handrail.

Existing Situation

There are few noteworthy features to the existing building interior, the original fireplaces have largely been removed and wall coping and skirting are non-period relatively recent interventions. Most of the internal doors are 6 panel timber doors but are a mixture of stained timber and white painted doors. The exception to this being the existing kitchen door that is a more recent glass panel door, it is proposed to replace this door with a 6 panel door finished in white and for all of the internal doors to be painted in a white gloss paint finish.

The existing staircase features a Mahogany handrail.



Ground Floor Front Room

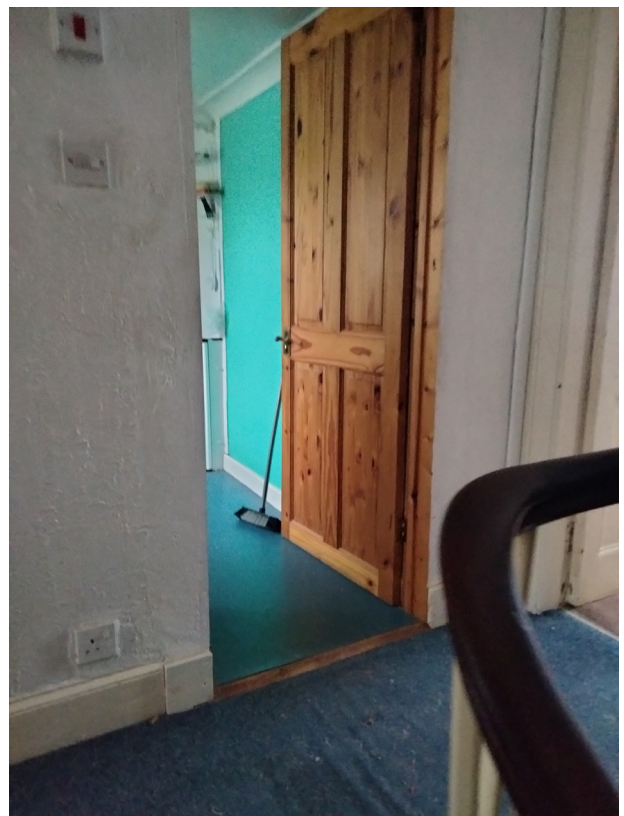
It is proposed to remove the non-period fireplace.



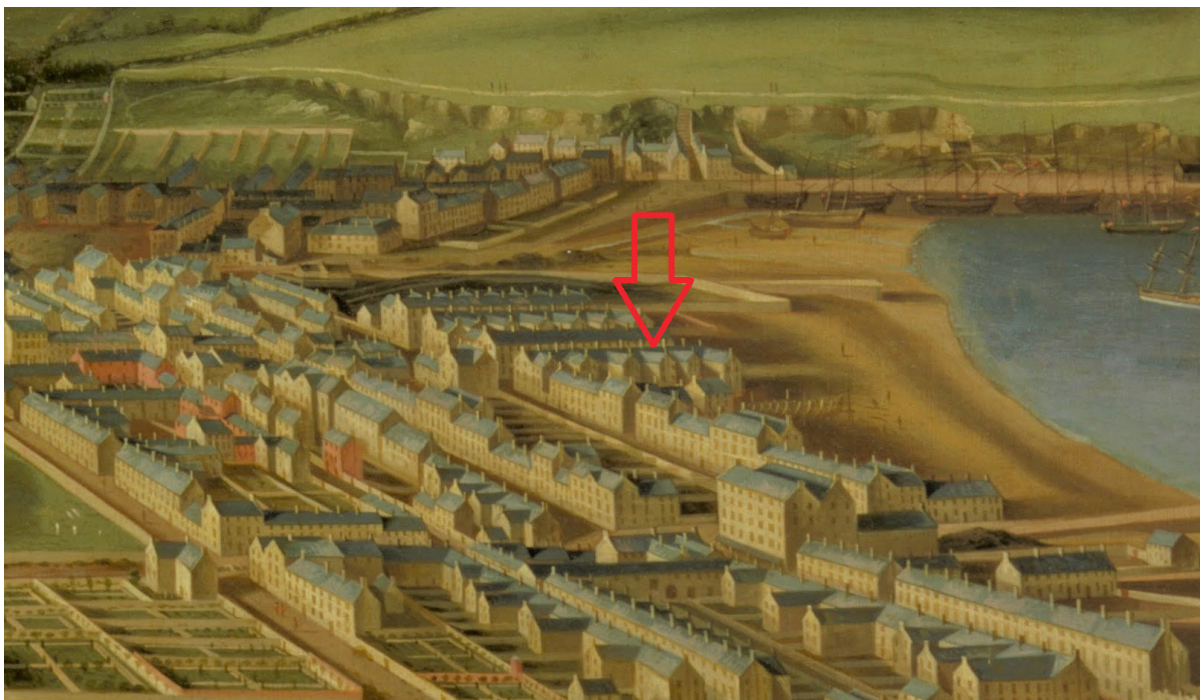
Existing Staircase Handrail



First Floor Front Room Door



First Floor Bathroom Door



Historical Context

New Lowther Street was developed in the early 18th century, with land reclaimed from the foreshore. Until that point – for the first decades of modern Whitehaven's existence – Strand Street was the closest point to the sea and was bounded by a tidal slope of mud and sand. You can see this in the Pellin map of 1695 and the continuation of the buildings on King Street, which effectively blocked the view of the harbour from the Flatt (later Whitehaven Castle).

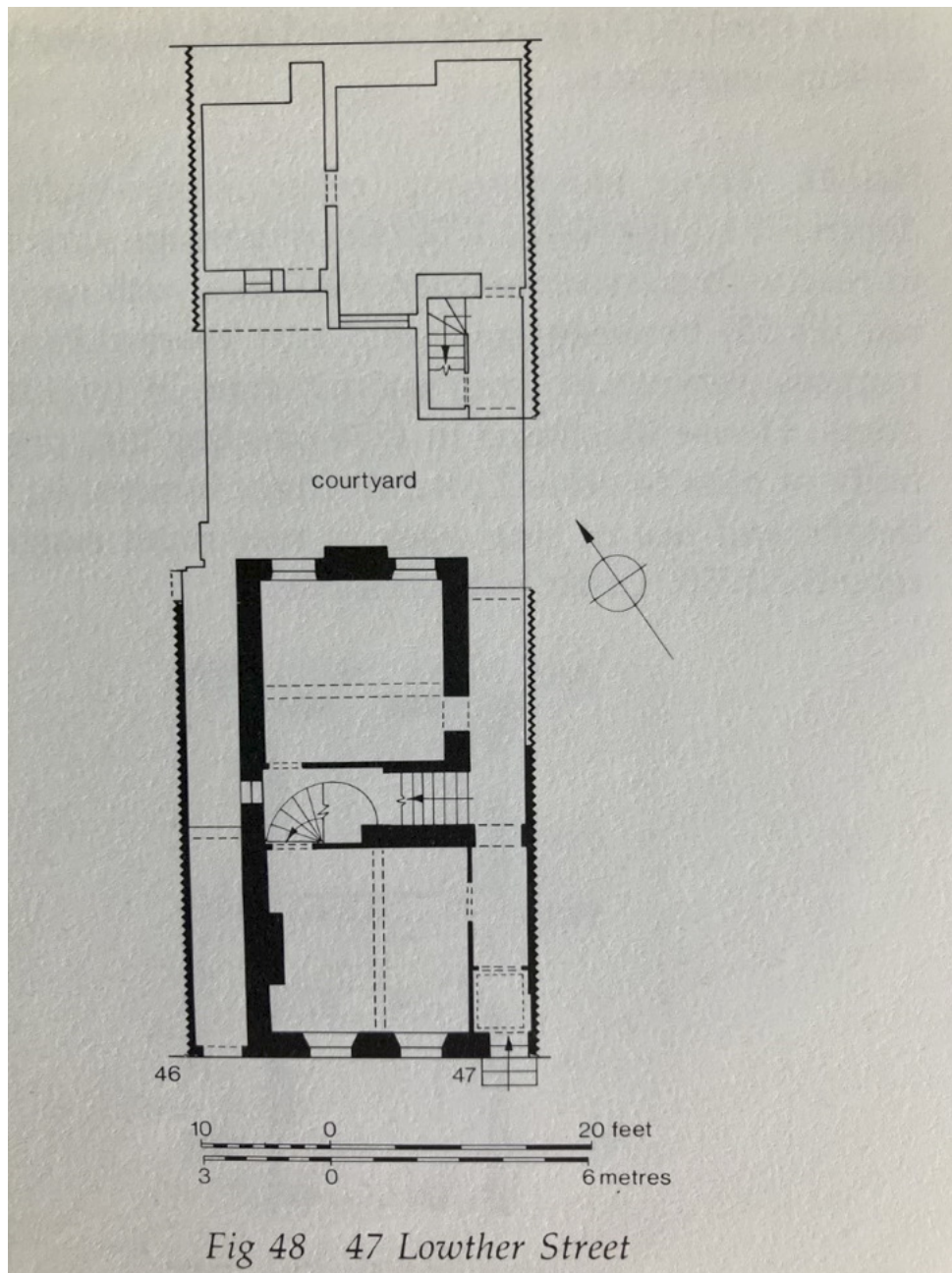
New Lowther Street would have likely been built in around 1717. About when Mark Lane dated from, which was nearby and parallel to New Lowther Street, but which was later covered over by a building called Mark House in the 1960s. This was demolished in about 2010, and the site, currently a temporary car park between the "Black House" and remains of the late Victorian Bath House on the corner of Duke Street and the Promenade, informally retains the name "the Mark House site".

New Lowther Street was a consequence of deregulation and the granting of cheap leases by Sir James Lowther, son of Sir John (d. 1706) who had been instrumental in outlining most of Whitehaven's early development plan and principles. New Lowther Street's houses were well liked by sea captains, it being a convenient location for them to keep an eye on their ships as well as the warehouses that made up a large proportion of the buildings between Strand Street at the harbourside.

From the Matthias Read painting of 1736 (above, with arrow indicating 46), painted when the houses were less than twenty years old, we can see that this row was all originally built with projecting rear wings. A form typical of early-18th century Whitehaven, which appears to be the case from the painting, was for a single-cell front with a newel (spiral) stair behind it, past which was accessed a wing containing a second cell, heated by a fireplace and stack at the gable end. The rear wings at New Lowther Street all appear to have been lost, but there is a feature in the cellar that appears to be the location of the original spiral stair. By the time of the Howard map of 1790, it appears that these rear wings had already been heavily modified or removed, and the whole area is densely overbuilt. You will note from the map and the painting that the row of buildings was at that time longer than it is now. This is because Strand Street was widened – I think in the 1960s – at which time the end buildings were demolished.

The date of 46 Lowther Street is given as c.1720 by the Royal Commission on the Historic Monuments of England, book *Whitehaven 1660-1800* by Sylvia Collier and Sarah Pearson. The site was granted to an Anthony Borrowdale, mason, on the 16th April 1715. The site included space for three houses, and was spilt up by 1729, when the house was owned by a mariner named John Barrow. His widow occupied the house in 1762, and in 1770 it was let to a John Steel, who paid tax on ten windows. The original front door opened straight into the front room, and this was revealed when the render was removed in 1979. The building was altered in the 19th century – the doorway into the ginnel, the mullioned front windows and the staircase date from then.

The next-door house, Number 47 (plan below), dates from about the same time and is to a similar design although the original site appears to have been granted to a joiner named Thomas Jackson, rather than Anthony Borrowdale, on 15th Dec 1709. In this, it appears from the front that there is no ginnel to the rear courtyard, but in fact it originally shared the passage at 46, and later the yard access shifted to inside the house, behind the front cell. This house featured a newel stair, the remains of which are still visible in the cellar, but this was replaced in the mid-18th century with a closed-string transverse stair, as can be seen in the plan. Probably the same happened at 46. Presumably the revised ginnel arrangement at 47 dates from the same time its staircase was reconfigured.



Heritage Statement

The proposed internal alterations will enhance the buildings character and do not affect any existing features or details. The improvements will bring the building to modern standards and provide increased accessibility use for the rooms. The circulation around the property and between rooms is improved.

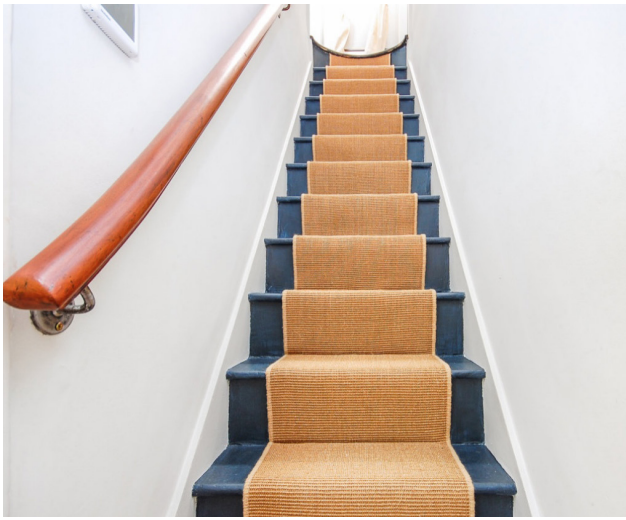
The proposed detailing of the front and rear basement windows is in-keeping with the buildings character and appearance and again will improve the use-ability of the property.

Overall, we consider the proposals offer advantages and improvements that fully justify them to be approved, as they will create a dwelling house that is to a high standard of accommodation, befitting the location and heritage nature of the buildings exterior appearance.

Proposal Details



Indicative example of proposed painted timber staircase, with timber spindles and handrails.



Indicative example of proposed painted timber basement staircase, with handrail. To be painted and detailed to match the main staircase.



Internal stud partition walls will be floor to ceiling and finished with a plaster skim and painted white. The interior walls and floor of the ensuites are to be tiled and all sanitary goods are to be white.

New Internal doors will be White, Grained, 6 panel doors.



Existing Front Light-well covers at 47 Lowther Street. The proposed light-well at 46 Lowther Street will match.



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