



DESIGN AND ACCESS STATEMENT

February 2025: Revision A

23034 Refurbishment to Units 10 & 14, Bridge End Industrial Estate, Egremont

PASSIONATELY CREATING ENVIRONMENTALLY AND SOCIALLY SUSTAINABLE SPACES

Our shared vision across Architects Plus is to produce beautiful, purposeful and timeless buildings that are sustainable and inclusive.

We are a proud forward-looking Cumbrian company who have become one of the region's most progressive and successful practices, with an established reputation for practical, sustainable and beautifully crafted buildings.

We continue to evolve our practice and use our decades of experience and knowledge in new build, retrofit and refurbishment projects across a wide variety of sectors to meet the changing needs of our clients and address the climate challenges ahead.

We have a dedicated team of established qualified professionals who can assist in everything from heritage, conservation and accessibility to sustainable design, carbon analysis and energy efficiency.

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1 | INTRODUCTION

This Design and Access Statement has been prepared to accompany a full planning application for the development of Unit 10 and 14, Bridge End Industrial Estate, Egremont, Cumbria for Thomas Graham and Sons Limited.

The applicant, Thomas Graham and Sons Limited are a steel stockholder and industrial supplier who recently celebrated their 125th anniversary in business. They now have branches in Carlisle, Egremont, Kendal and Morecambe. Architects Plus have been appointed to design a new link extension to connect two vacant industrial units, which will replace their existing branch on the Bridge End Industrial Estate, Egremont, Cumbria.

The Town and Country Planning (Development Management Procedure) (England) Order 2015 sets out detailed requirements for the contents of Design and Access Statements. Further advice is provided in Guidance on Information Requirements and Validation (2010) published by the Department of Communities and Local Government (DCLG) as well as in 'Design and Access Statements' as published by the Commission for Architecture and the Built Environment (CABE). As such, one statement is required to cover both design and access, allowing applicants to demonstrate an integrated approach delivering inclusive design, responsive to context alongside addressing accessibility for intended user throughout the design process.

This Design and Access Statement will provide an overview of the proposed extension to the existing building.

2 | CONTEXT

2.1 LOCALITY
CONTEXT

Location

Site Address: Unit 10 & 14, Bridge End Industrial Estate, Egremont, Cumbria. CA22 2RD

Grid Reference: X (Easting) 301309, Y (Northing) 510090

What3words: wobbling.fiction.lunges

The site area: 0.86Ha

Key Points Summary

Locality and Physical Context

- The site is situated 0.5 miles south from Egremont town centre, and is approximately 6 miles from Whitehaven to the north and approximately 5 miles from Sellafield to the south.
- The site is situated within the Bridge End Industrial Estate. Our Client, Thomas Graham and Sons, have an existing premises on this Industrial Estate, directly opposite the proposed new premises.

Economic and Social context

- Units 10 and 14 have been vacant since the end of 2023. Thomas Graham are seeking to expand their existing business in the local area. This development will, in the future, create additional employment opportunities within Egremont and surrounding areas.
- The development will release the existing Thomas Graham premises within Bridge End Industrial Estate for occupation by other businesses.



Aerial View of the proposed site

2.2 SITE PHOTOGRAPHS

SITE CONTEXT

Site Description

The proposed site of this Planning Application currently contains two vacant industrial units, which are located to the south east corner of Bridge End Industrial Estate. Unit 10 is the smaller of the two units, situated to the northern end of the Planning Application site, with Unit 14 being the larger, taller unit which is situated to the southern end of the Planning Application site. Both units have existing car parking areas adjacent to each building and the units are surrounded by landscaping and vegetation. The Units are accessed from Bridge End Road, which is located just off the A595.

Site History

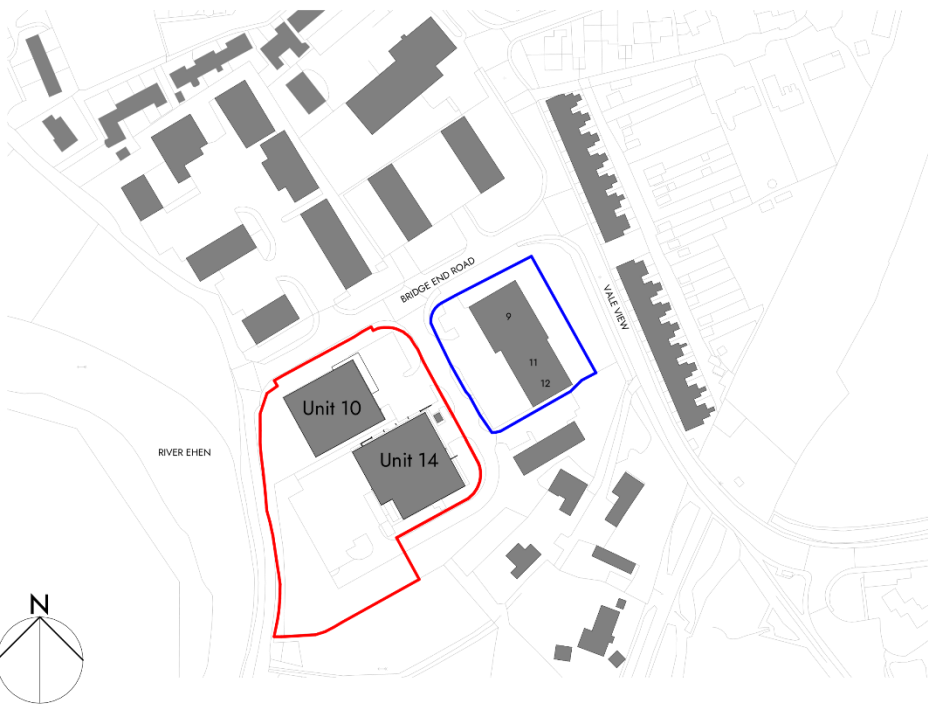
We believe that Unit 10 was constructed in the early 1990's, and we understand from record drawings, that Unit 14 was constructed circa 2010. Both units were under the same ownership when they became vacant at the end of 2023, after which they were obtained by our Client, Thomas Graham and Sons.



View from North East, toward location of extension



View from East, toward location of extension



Location Plan showing proposed site edged in red, and Thomas Graham and Sons adjacent premises edged in blue



View from South East towards Unit 14



View from North West, with site to right and existing Thomas Graham to left

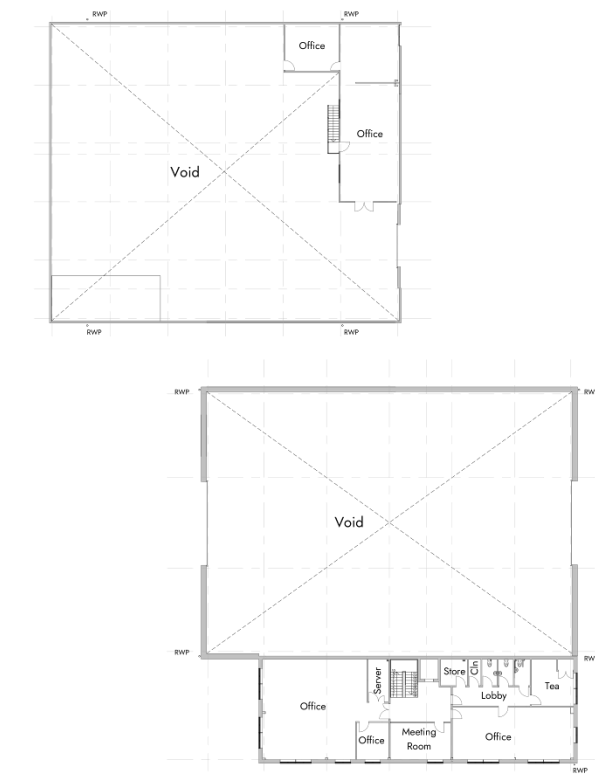
2.3 EXISTING DRAWINGS

EXISTING FLOOR PLANS

The existing floor plans are shown below. Unit 10 has a ground floor, containing a large double height, open plan area, with an office suite and welfare facilities. To Unit 10 at first floor level, there are offices to the north side of the building, shown in a “L-shape” configuration. Unit 14 has a ground floor, which contains a large open plan area known as the “Rig Hall”, which extends to the underside of the roof. Unit 14 also has a ground floor, and first floor, which contain offices, meeting rooms and welfare facilities at floors.

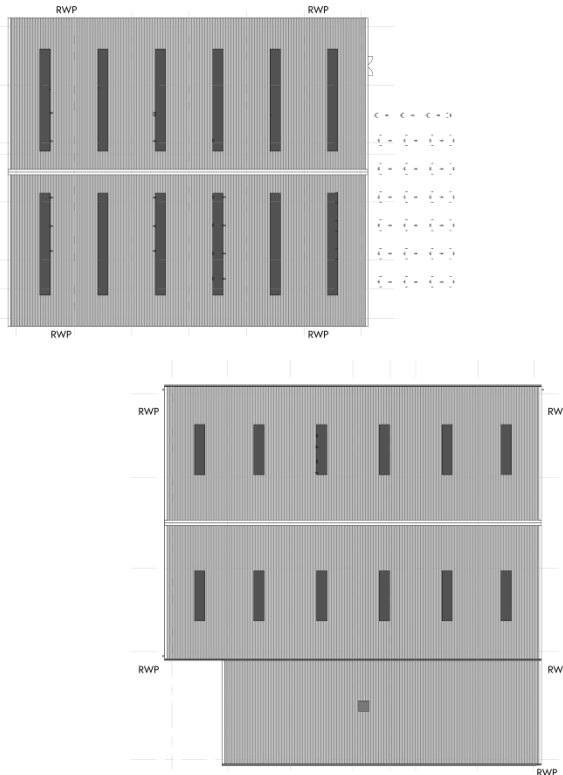


Existing Ground Floor Plan



Existing First Floor Plan 1-200
1 : 200

Existing First Floor Plan



Existing Roof Plan 1-200
1 : 200

Existing Roof Plan

2.3 EXISTING DRAWINGS

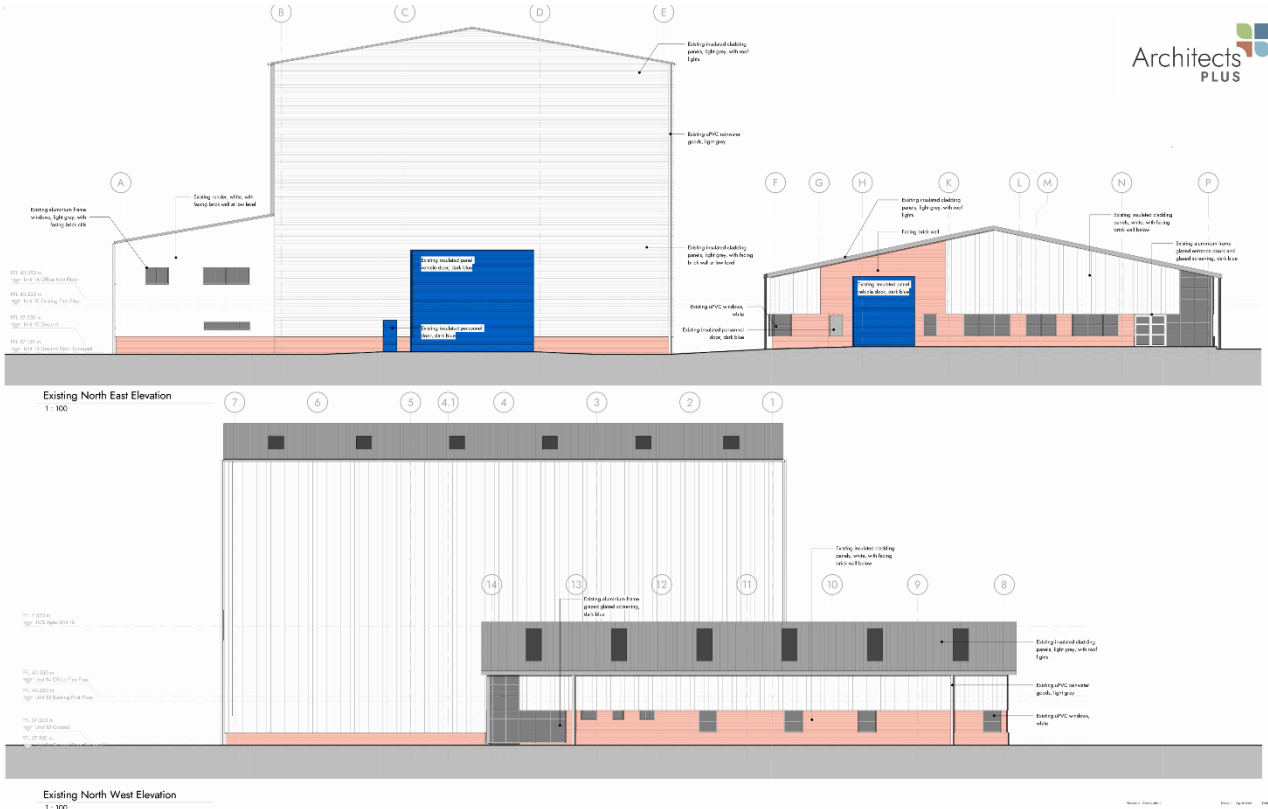
EXISTING ELEVATIONS

Unit 10

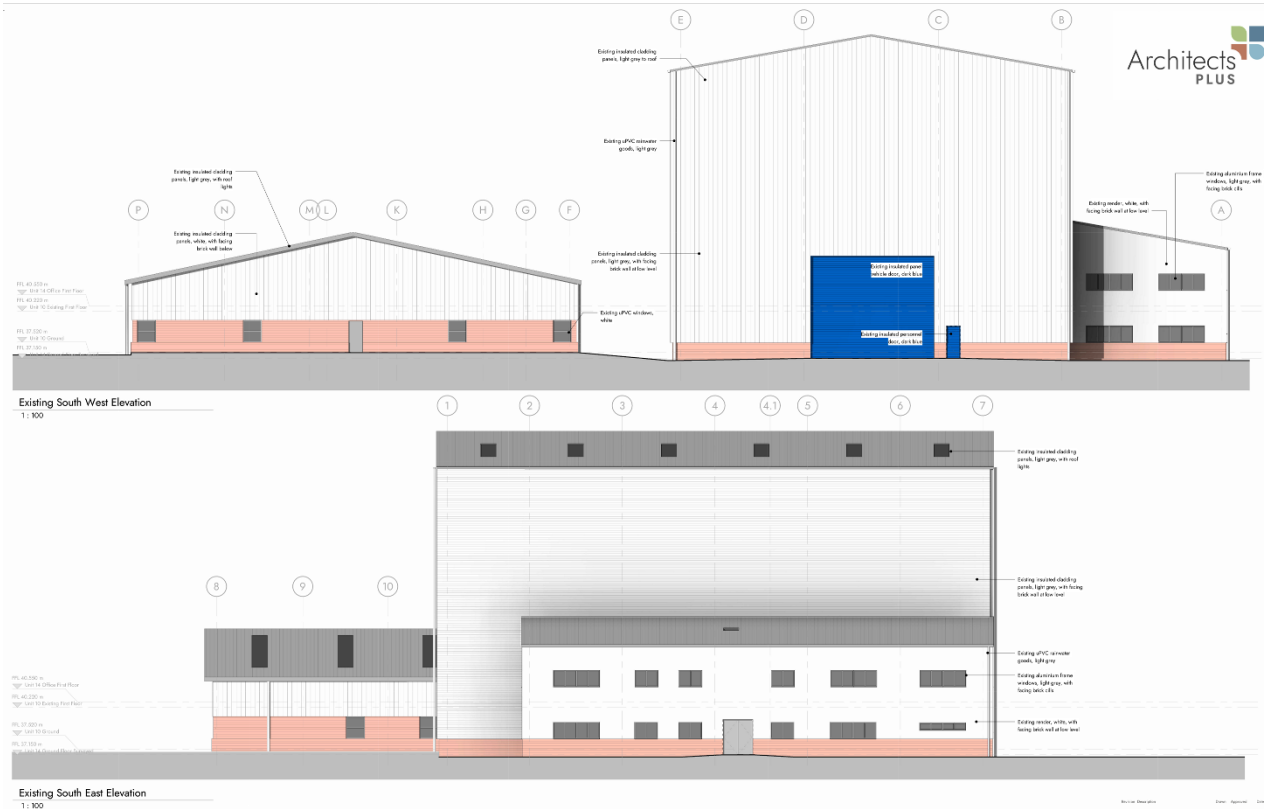
Unit 10 is the smaller of two units and sits adjacent to Bridge End Road, closest to the entrance of the Industrial Estate. It has brickwork, red in colour, up to standard window head height, and the brickwork extends around the industrial shutter doors. Above the brickwork, there is composite wall cladding, which is Goosewing Grey in colour, with a matching composite cladding to the roof. The existing windows and doors are aluminium and are blue in colour. The building is need of some external repair and thermal upgrades due to the age of the unit and lifespan of the existing materials.

Unit 14

Unit 14 is the larger of the two units and sits back from Bridge End Road. It comprises a higher level former “Rig Hall” and a double storey, “lean to” office suite to the south east. The unit has low level brickwork, red in colour, up to standard window cill height, to the entire perimeter of the building. Above the brickwork to the “Rig Hall”, there is composite wall cladding, which is Goosewing Grey in colour, with a matching composite cladding to the roof. The “lean” to office suite is rendered, white in colour, above the brickwork. The existing industrial shutter doors, and personnel doors are aluminium and blue in colour. The building is generally in good repair.



Existing North East Elevation and Existing North West Elevation



Existing South West Elevation and Existing South East Elevation

2.4 ECOLOGY AND BIODIVERSITY NET GAIN

SUMMARY

Ecology

An Ecological Impact Assessment and a Design Stage Biodiversity Net Gain Assessment have been undertaken by Waterman Infrastructure and Environment Limited.

Copies of the above Ecological reports are submitted with the Planning Application.

The reports should be read in conjunction with the landscaping scheme prepared by Westwood Landscapes.



Ecological Impact Assessment

Unit 10 and 14, Bridge End Industrial Estate

Bridge End

Design Stage Biodiversity Net Gain Assessment

December 2024

Waterman Infrastructure & Environment Ltd
6th Floor, Trinity Court, 16 John Dalton Street, Manchester M2 6HY
www.watermangroup.com

December 2024

Waterman Infrastructure & Environment Limited
6th Floor, Trinity Court, 16 John Dalton Street, Manchester M2 6HY
www.watermangroup.com

Ecological Impact Assessment

Design Stage Biodiversity Net Gain Assessment

Flood Risk Assessment

The Environment Agency Flood Map for Planning indicates the vast majority of the site lies within Flood Zone 1, with a small area of land to the southwest corner of the site within Flood Zone 2.

The existing buildings are located within Flood Zone 1.

Environment Agency Maps are included within the Flood Risk Assessment and Drainage Strategy prepared by AL Daines and Partners, a copy of which accompanies this Planning Application.

AD

A L DAINES
& PARTNERS

CONSULTING CIVIL &
STRUCTURAL ENGINEERS

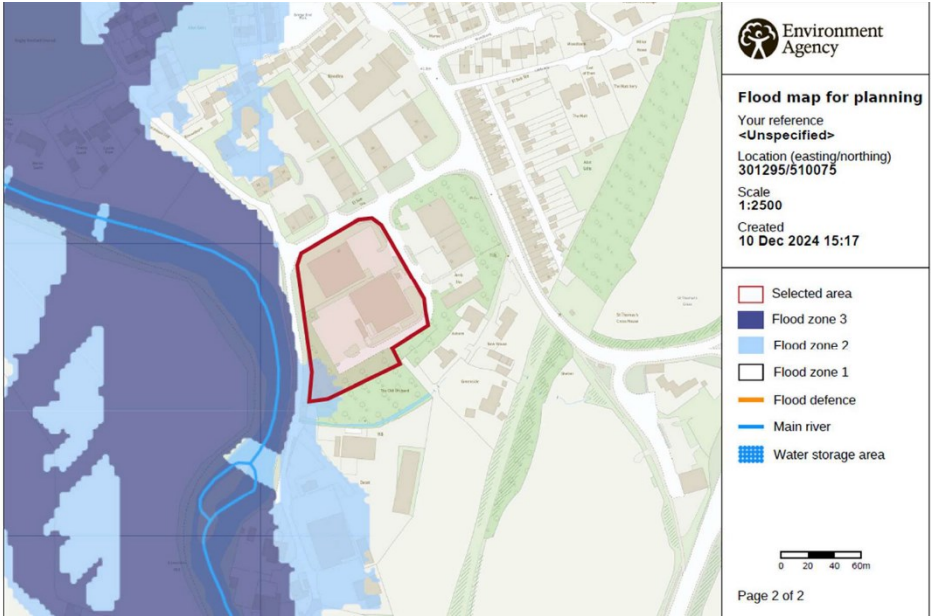
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Flood Risk Assessment & Drainage
Strategy

UNIT 10&14, BRIDGE END INDUSTRIAL ESTATE, EGREMONT

23-C-17325
Rev A
December 2024



A.L. Daines & Partners LLP, Registered in England & Wales, Registration No. OC373173.
Registered Office 6 Brunswick Street, Carlisle CA1 1PN.
Partners: E Shimmin C.Eng M.I.C.E. & M Briggs C.Eng M.I.C.E

3 | DESIGN

3.1 PROPOSED SITE LAYOUT
DESIGN

Summary

There are no significant changes to the existing site layout.

Access and Movement

- Vehicle and pedestrian access from Bridge End Road remains unchanged.

Placement and Scale

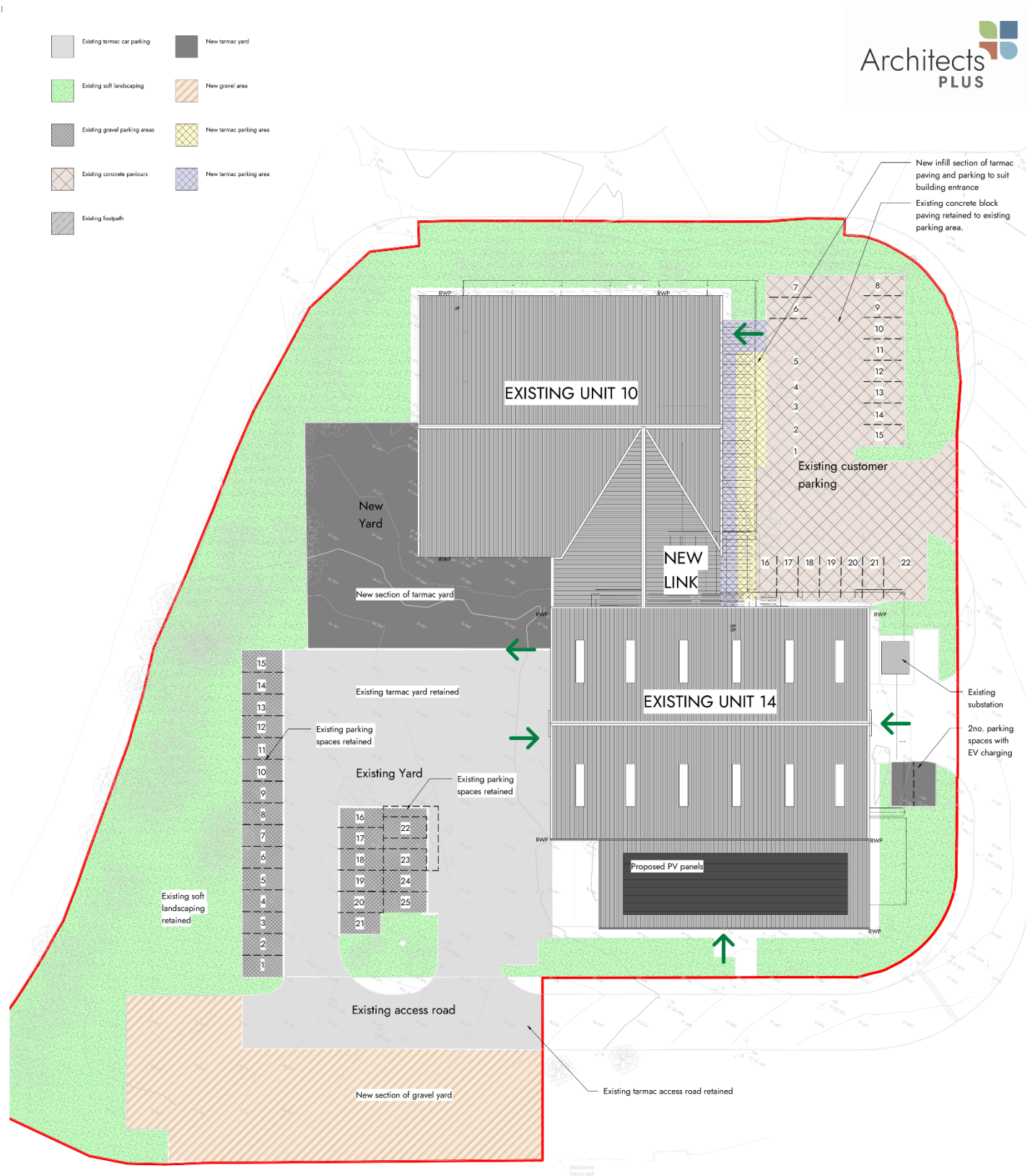
- The scale and placement of the footprint of the new link extension has been kept to the minimum, efficiently linking the existing units over two floors.

Use

- The proposed works do not change the use of the site, which is under Use Class B2/B8. Thomas Graham and Sons will be using this building as a replacement building for the existing branch, which is located directly opposite this site.

Parking

- The existing car parking spaces to the north east corner of Unit 10 will be designated as customer parking. The existing parking to the rear of Unit 14 will be designated as staff parking. Yard space for deliveries will be provided to the western side of the site, to the rear of Unit 10 and 14.



Proposed Site Plan

3.2 PROPOSED FLOOR PLANS

DESIGN

Concept

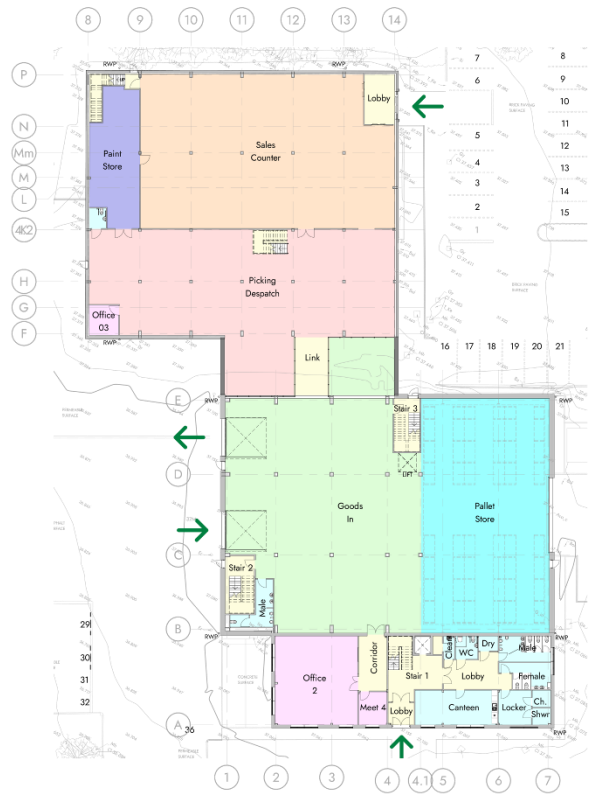
- The proposals connect Unit 10 and Unit 14 by the erection of a new, two storey link extension between an unused strip of land between the two units. The extension will allow Thomas Graham and Sons to use the two buildings as one larger unit, which is required to suit the efficiency and space requirements of their business.

Access

- The location of the main pedestrian access / egress to the building will remain unchanged, with upgraded replacement entrance doors to the trade counter in Unit 10. Additional sectional overhead doors and personnel doors will be provided in Unit 14, with additional fire doors in Unit 10.

Scale

- The scale of the extension is in proportion to the existing building's and the two storey extension creates 250m² of additional floor space.



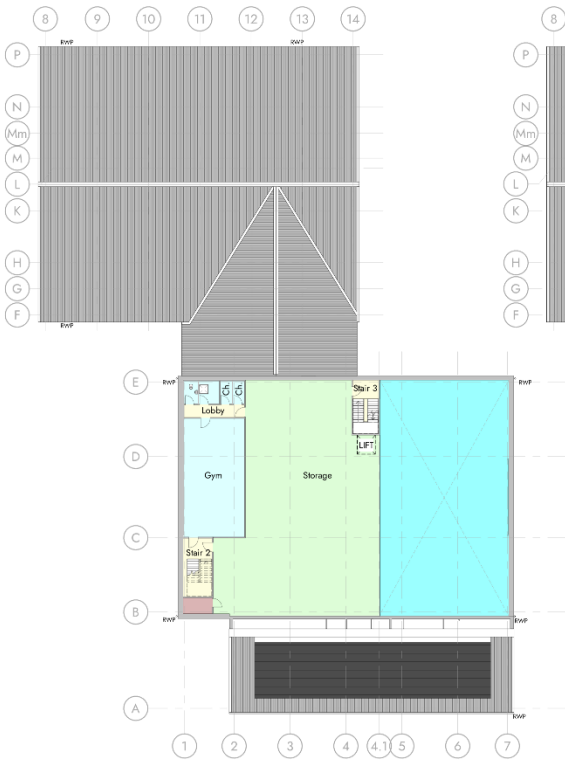
Proposed Ground Floor Plan



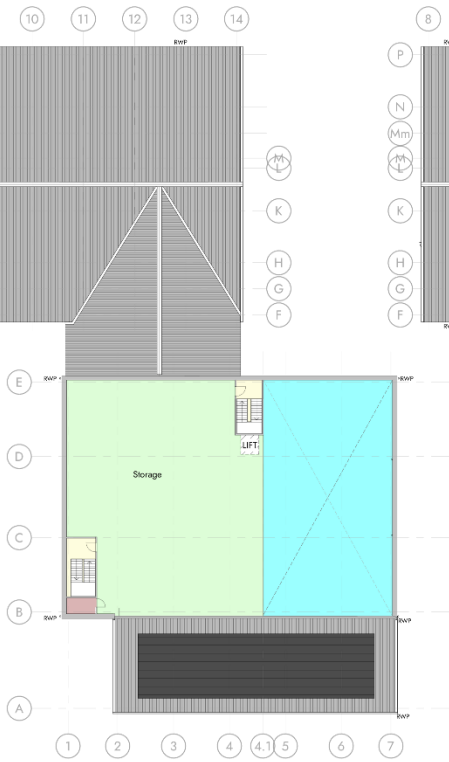
Proposed First Floor Plan

Hours of Opening

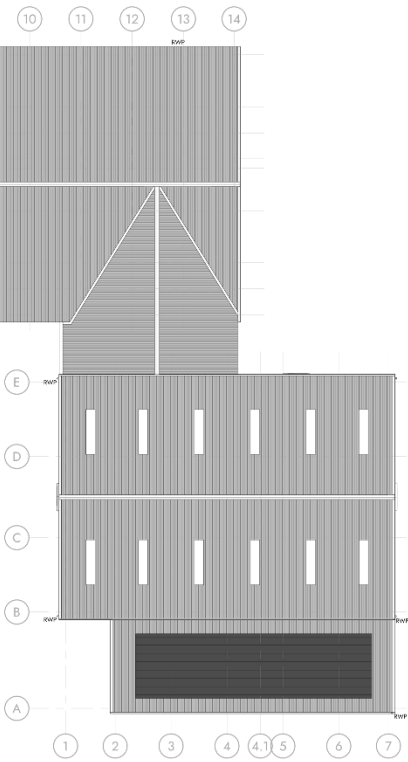
- The opening hours will be 7am to 5pm Monday to Friday.



Proposed Second Floor Plan



Proposed Third Floor Plan



Proposed Roof Plan

3.2 PROPOSED FLOOR PLANS (CONT.)
DESIGN

Ground Floor:

- Customer entrance to access sales counter and trade counter.
- Picking / despatch, goods in and out, and full height pallet store.
- Offices, meeting rooms and welfare facilities used by staff, with separate entrance for staff to access Unit 14.

First Floor:

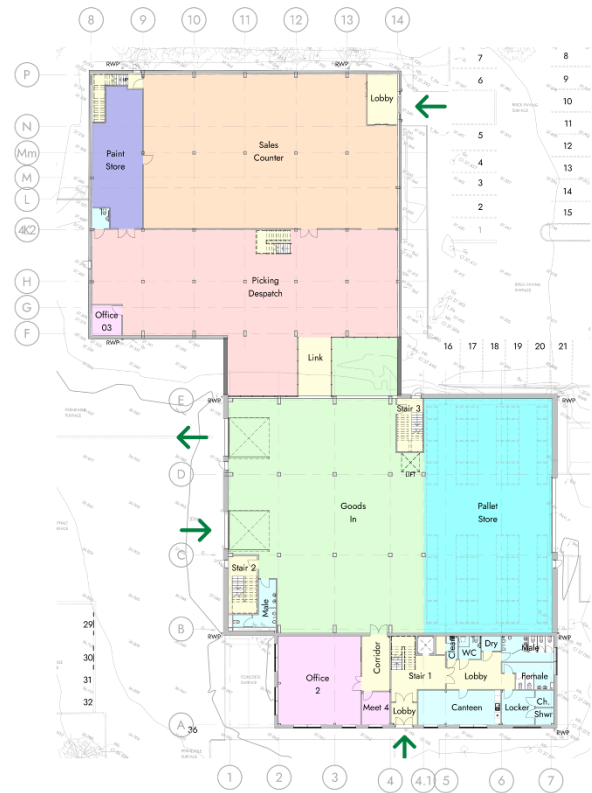
- Storage.
- Offices, meeting rooms and welfare facilities.

Second Floor:

- Storage.
- Staff gym and welfare facilities.

Third Floor:

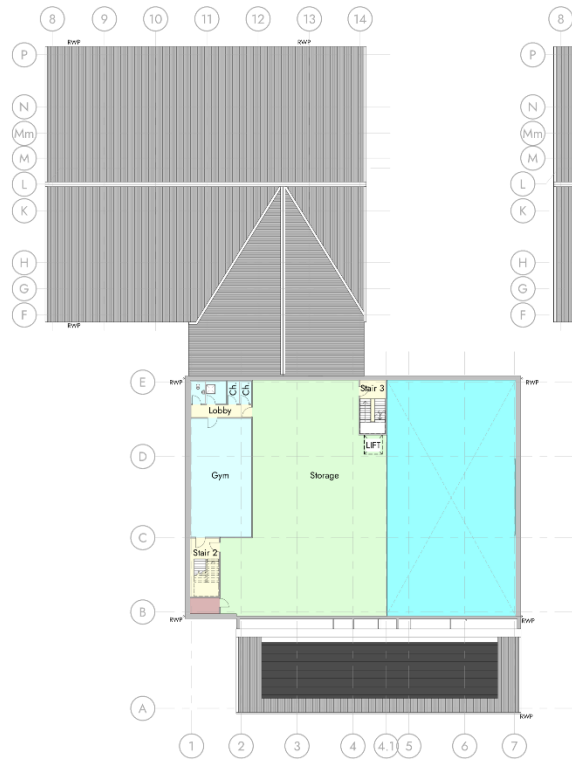
- Storage.



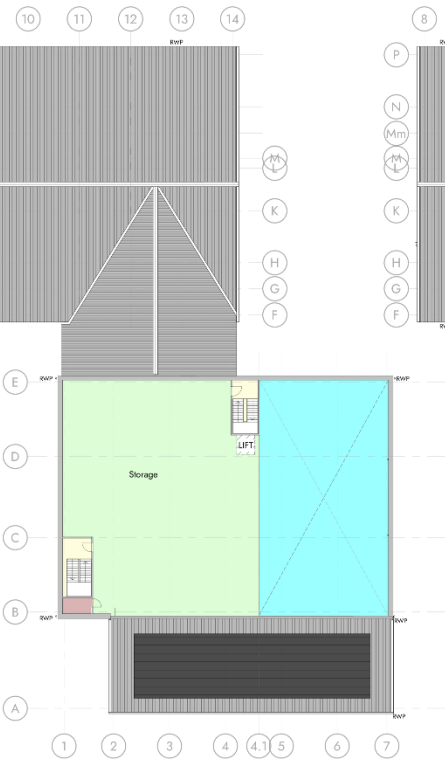
Proposed Ground Floor Plan



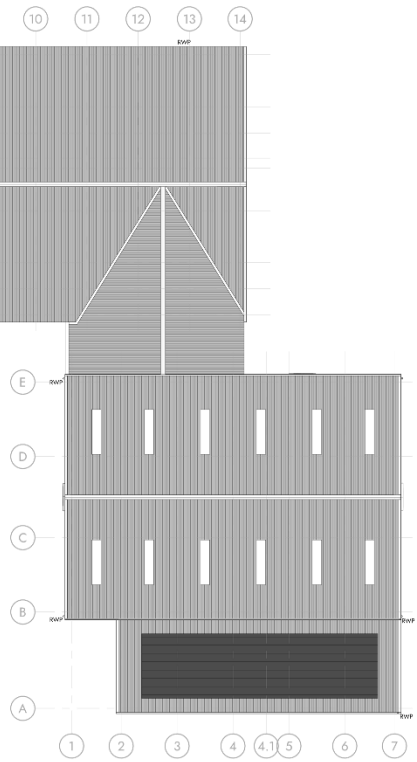
Proposed First Floor Plan



Proposed Second Floor Plan



Proposed Third Floor Plan



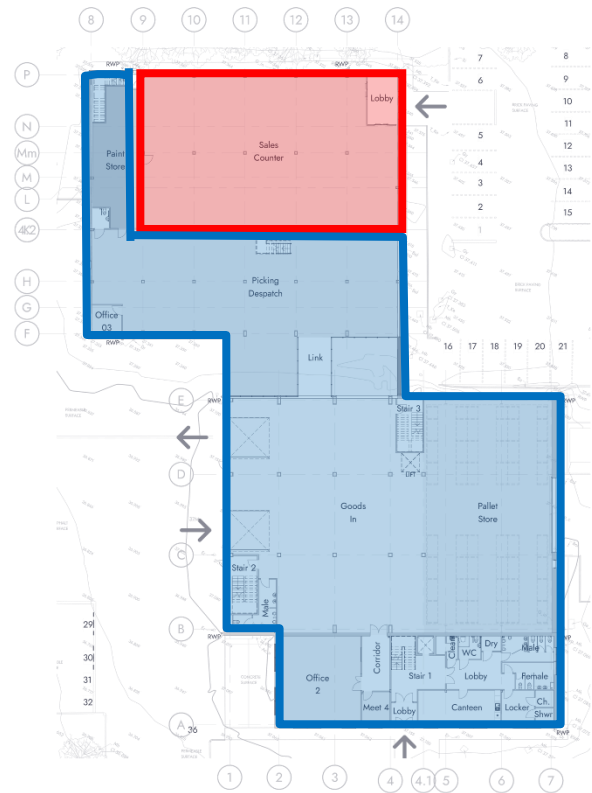
Proposed Roof Plan

3.2 PROPOSED FLOOR PLANS (CONT.)

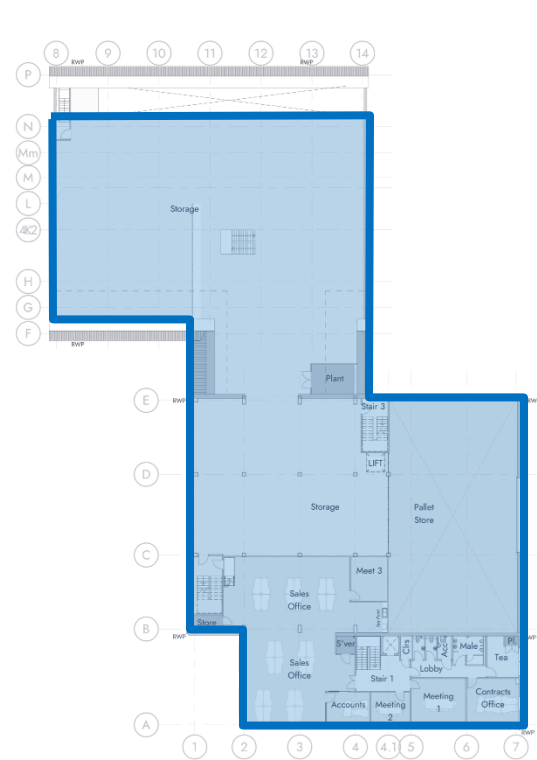
USE CLASS

Use

- The existing buildings of Unit 10 and Unit 14 fall under Use Class B2/B8, and the proposed link extension will also fall under Use Class B2/B8.
- The sales area and trade counter will change the use of 450m² of Unit 10 into Use Class E(a). This trade counter will be used by trade customers, with sales in the counter predominantly comprising of account holders and trade customers. A small number of cash sales equate to less than 2% of the turnover and as such is “*de minimis*” to the mainly trade operation.



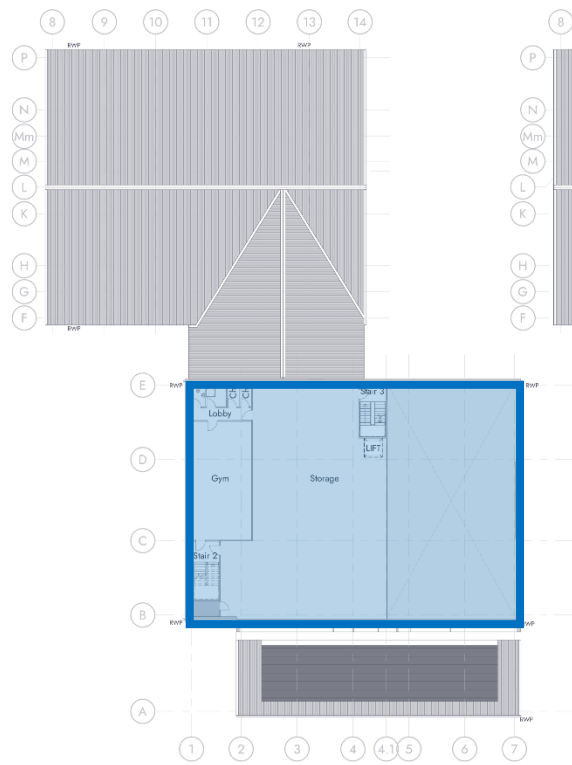
Proposed Ground Floor Plan



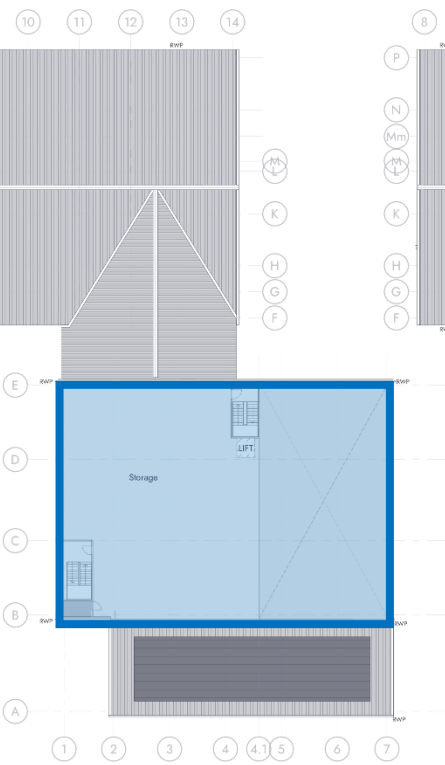
Proposed First Floor Plan

Use Class B2/B8

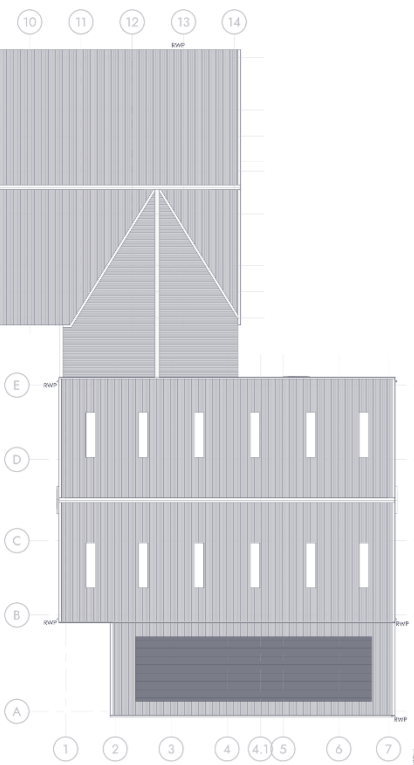
Use Class E(a)



Proposed Second Floor Plan



Proposed Third Floor Plan



Proposed Roof Plan

3.3 PROPOSED ELEVATIONS

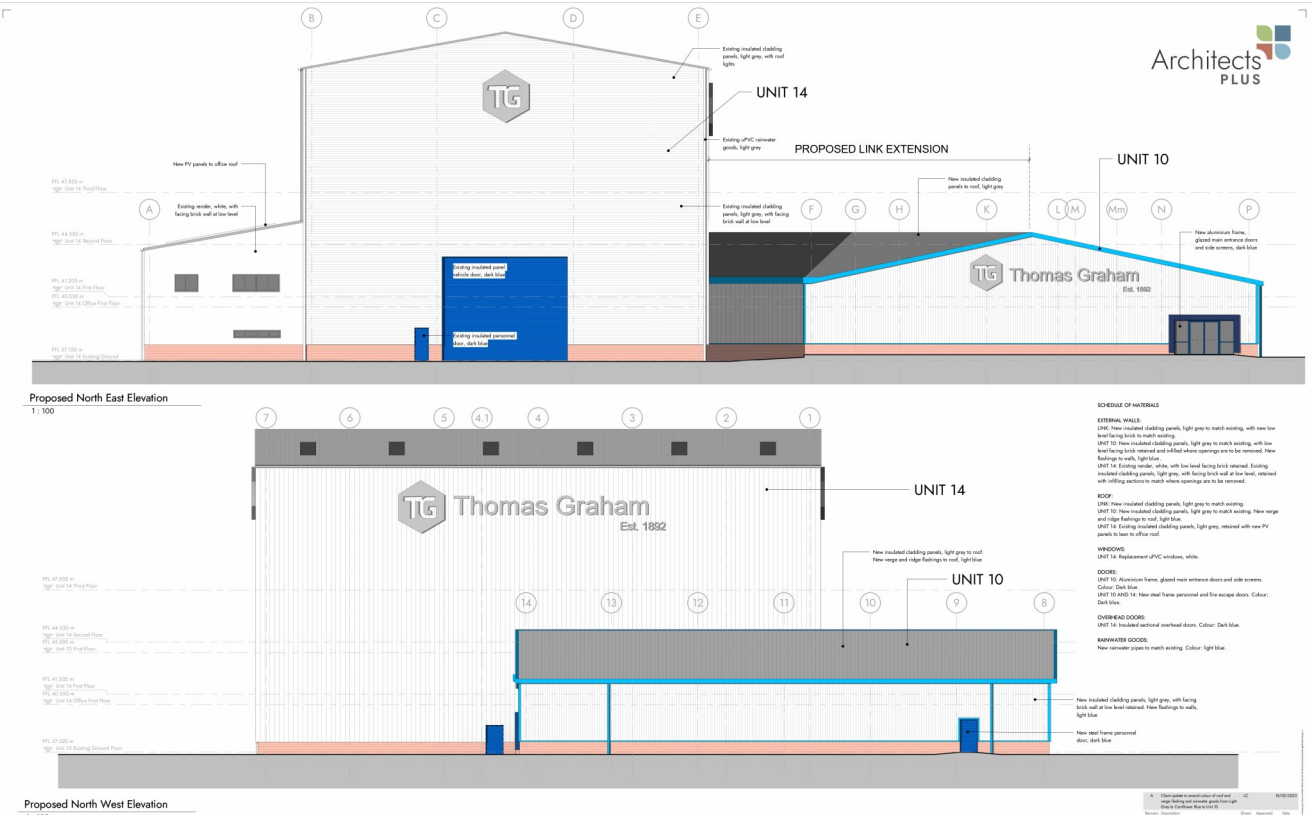
DESIGN

Appearance / Scale

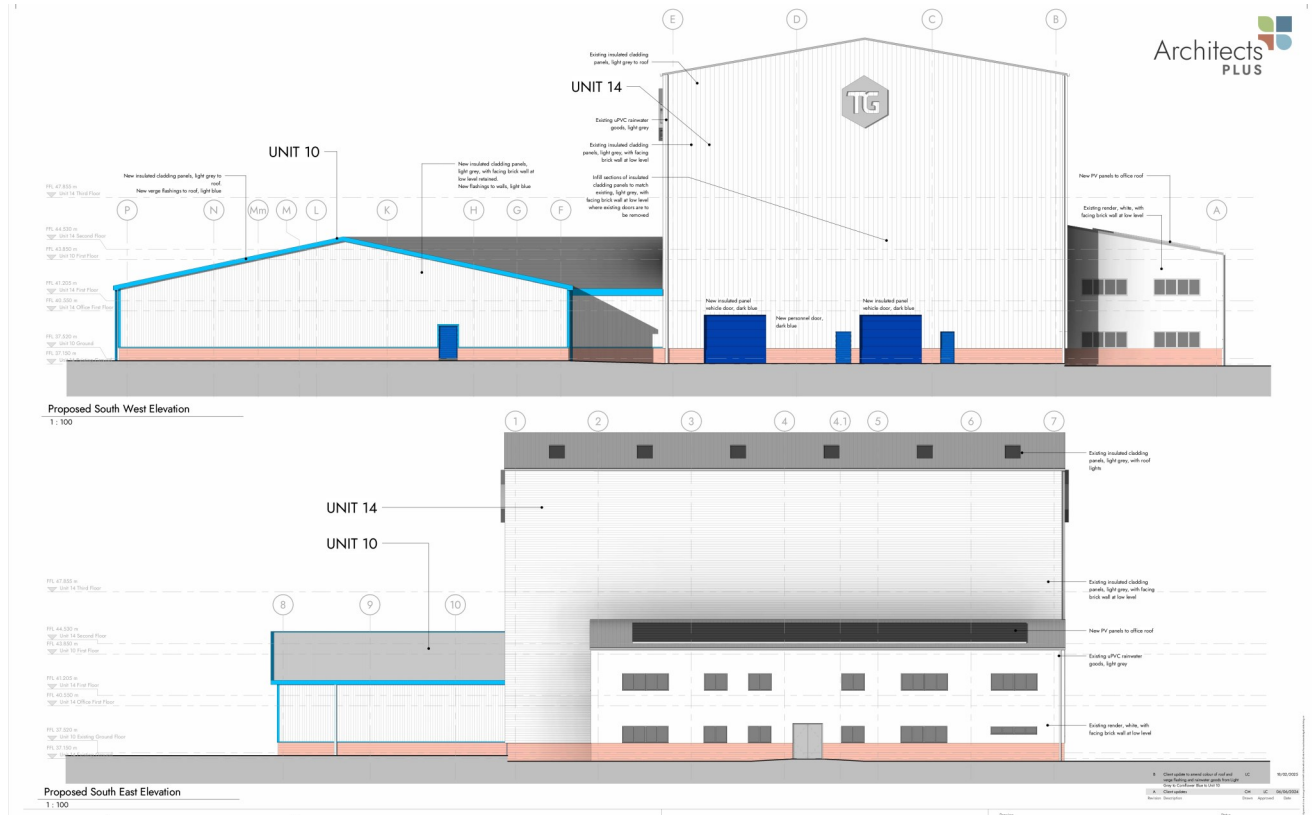
The appearance of the extension will match the existing elevation treatment of Unit 14, with brickwork at low level, with composite cladding to the external wall and roof. The composite cladding will be Goosewing Grey to match the adjacent units. The ridge line of the extension will match the ridge line of Unit 10, ensuring the extension is in proportion to the lower level building.

As part of the refurbishment works, in line with the current thermal performance requirements of the Building Regulations, Unit 10, the smaller and older of the two units, will have replacement composite cladding to the external walls and roof. The colour, Goosewing Grey, will match the existing buildings. The existing brickwork will be maintained, but the base of the cladding panels in Unit 10 will be lowered to the level of the adjacent cladding in Unit 14, which will give a coherent aesthetic to the units. Feature automatic entrance doors to the trade counter, will define the customer entrance and direct customers towards Unit 10.

There are minimal works to Unit 14, with the exception of 2.no additional sectional overhead doors and 2.no. personal doors to the south west elevation. These doors replace a large overhead door which will not meet the Client’s operational requirements. The existing cladding and brickwork is relatively new and in good condition and will be retained.



Proposed North East and North West Elevations



Proposed South East and South West Elevations

3.4 MATERIALS

SUMMARY

External Walls

- Link: New insulated cladding panels, Goosewing Grey RAL 080 70 05, to match existing adjacent building, with new low level facing brick to match existing adjacent brickwork.
- Unit 10: New insulated cladding panels, Goosewing Grey RAL 080 70 05, to match existing adjacent building, with new low level facing brick retained and infilled where openings are to be removed. Dark Blue RAL 5026 to main entrance surrounds.
- Unit 14: Existing render, white, with low level facing brick retained. Existing insulated cladding panels, Goosewing Grey RAL 080 70 05, with facing brick wall at low level to be retained with infilling sections to match where existing openings are to be removed.

Roof

- Link: New insulated cladding panels, Goosewing Grey RAL 080 70 05, to match existing, with Light Blue RAL 5015 flashings
- Unit 10: Replacement insulated cladding panels, Goosewing Grey RAL 080 70 05, to match existing, with Light Blue RAL 5015 flashings
- Unit 14: Existing insulated cladding panels, Goosewing Grey RAL 080 70 05, retained with new PV panels to lean-to office roof.

Windows and Doors

- Unit 10: Replacement aluminium framed, glazed main entrance doors and side screens, dark blue.
- Unit 10 and 14: New steel frame personnel and fire escape doors, dark blue.
- Unit 14: Replacement uPVC windows, white. New insulated sectional overhead doors, dark blue.

Rainwater Goods

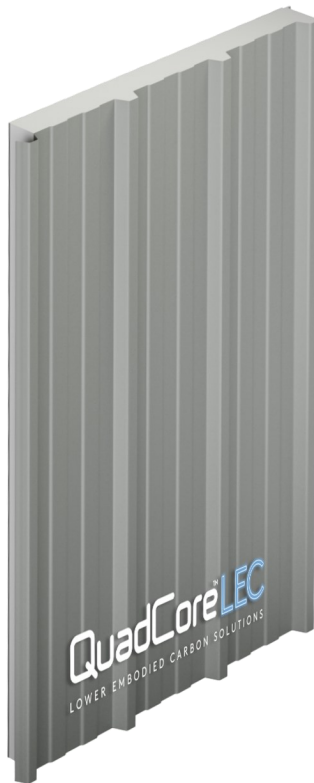
- New rainwater goods to match existing, Goosewing Grey RAL 080 70 05.

External Works

- New gravel area to match existing.
- New yard area, tarmac to match existing



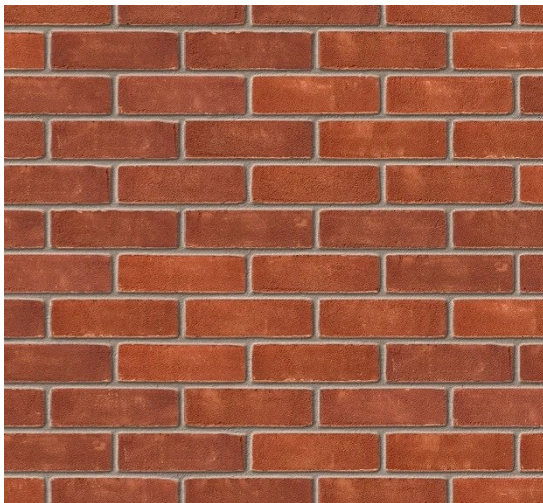
New / replacement cladding. Colour: Goosewing Grey RAL 080 70 05



New / replacement cladding. Colour: Goosewing Grey RAL 080 70 05



Indicative aluminium frame side screens. Colour: Dark Blue



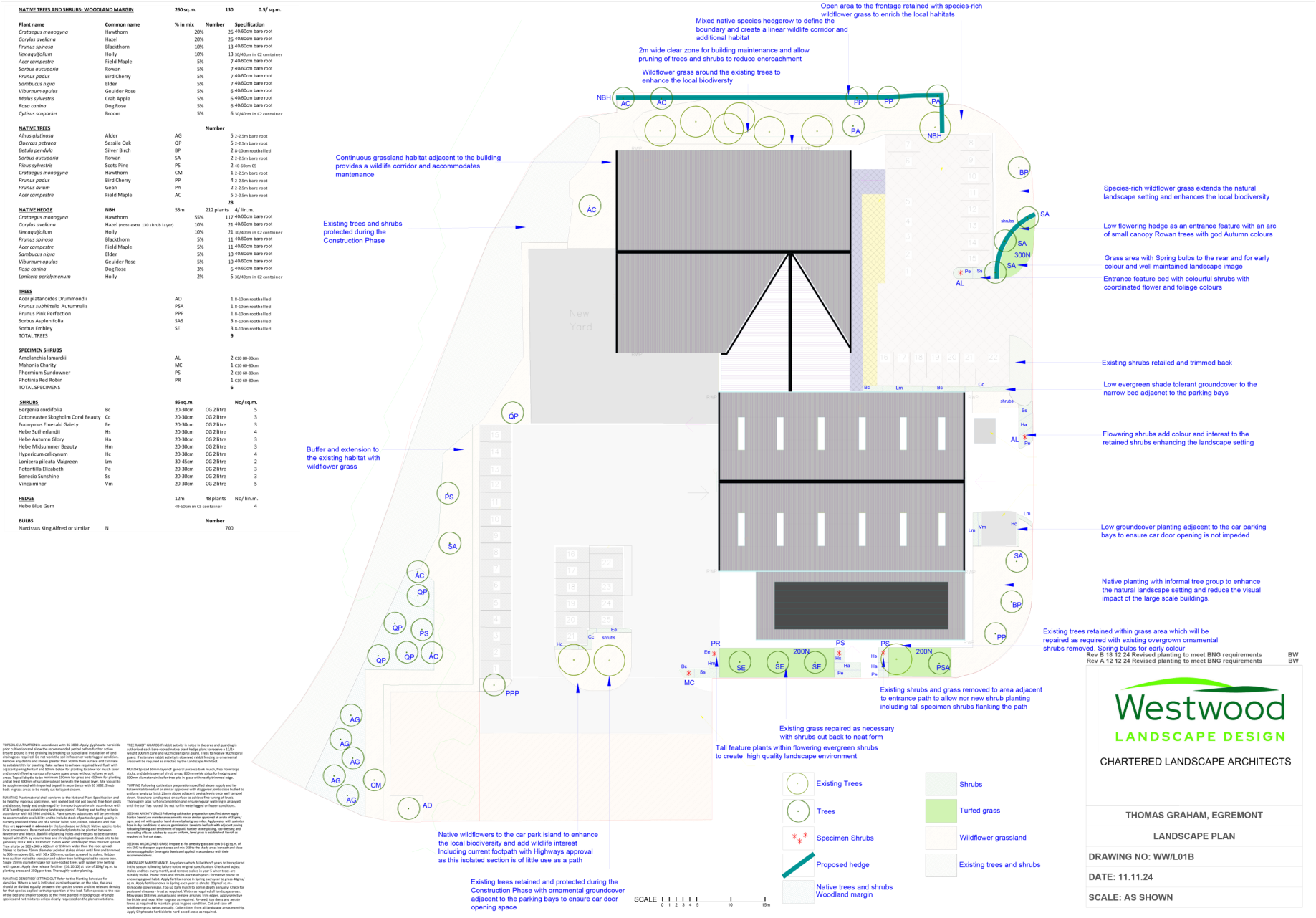
Indicative low level brickwork to match existing

3.5 LANDSCAPING PROPOSALS

DESIGN

Landscaping Scheme

Westwood Landscape have been commissioned to prepare a Landscaping Plan for the proposed development, copies of which accompany this Planning Application.



Landscaping Scheme prepared by Westwood Landscapes

Access Consideration: Externally

- Access has been provided by the provision accessible parking spaces, pavements with dropped kerbs and level thresholds to entrance doors.
- Surface finishes will have slip resistance, offer colour contrast and have tactile paving where appropriate.
- Public and staff areas will remain carefully segregated. Customer parking is contained within the zone to the north east corner of the site, adjacent to the entrance to Unit 10.
- Staff parking is located to the south west, and staff will utilize the existing car parking spaces. This provides direct access into Unit 14, which will contain the majority of staff offices and facilities.
- The loading and unloading areas will be contained within the existing hardstanding to the west of Unit 14, and this area of existing hardstanding will be extended to form additional yard space to the west of Unit 10.

Access Consideration: Internally

- Entrance doors will have level thresholds.
- Surface finishes will have slip resistance and offer colour contrast
- Public and staff areas have been carefully segregated, with any customer restricted to the counter area of the building for safety and security reasons.
- An induction loop will be provided at the counter space to assist any person with hearing impairment.
- The existing lift serving Unit 14 offices will be retained, with a new lift provided with Unit 14 to access all new floor levels.
- Accessible WC's are provided and all fittings will be in accordance with Part M of the Building Regulations.



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