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Project Details

File Ref: 6028

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For

Cleator Moor Town Deal, Proposed Refurbishment and Alterations



of

**The Phoenix Court PEC3 Building,
Earl Street,
Cleator Moor,
Cumbria,
CA25 5AU.**

History and Heritage

Within the Cleator Moor Conservation Area, the PEC 3 building is located on the Cragg Road side of Phoenix Court, opposite Market Square and the rear of the Grade II listed Library building.

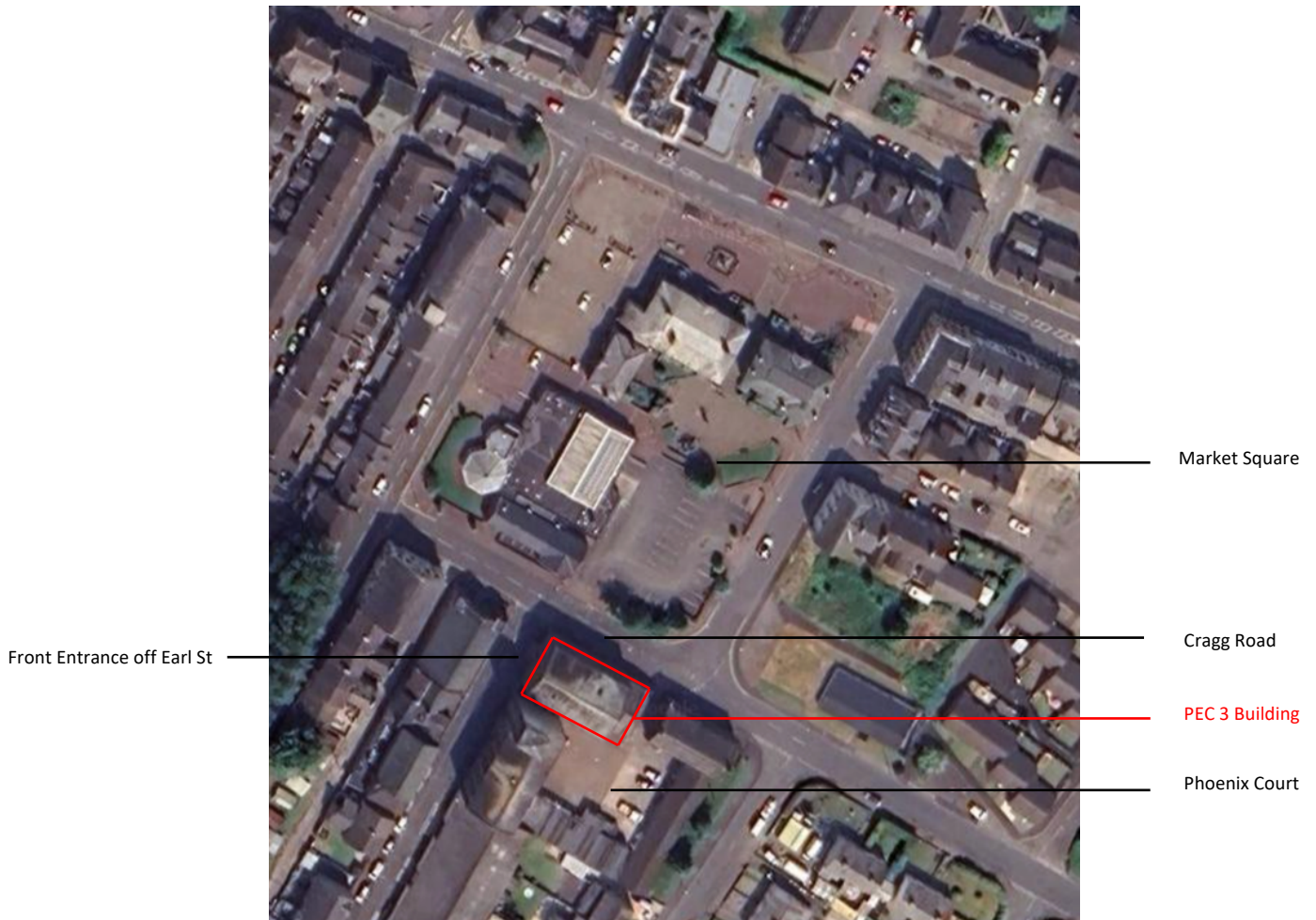


Image 1: Aerial view Phoenix Court adjacent to Market Square

The building is understood historically to have been part of an abattoir/auction mart which, was converted into office accommodation in 1990's.

Historic maps, published within the Cleator Moor Conservation Area Appraisal (2021) document, show that the building and adjacent Earl Street property were located on the site by 1898. Maps for the same area show that by 1923 additional buildings had been constructed, to the South, forming the central courtyard.

The building on the corner of Cragg Road/Earl Street “consists of three-and-a-half tall red brick storeys with windows featuring segmental arched heads in red sandstone. It sits on a plinth of squared sandstone rubble.” *Description taken from the Cleator Moor Conservation Area Appraisal (2021)*



Image 3: Front Entrance off Earl Street.



Image 4: Cragg Road Elevation with access into Phoenix Court, with two storey unit and single storey plantroom to rear elevation.

Lower two storey and single storey elements are located against the rear elevation both of which have independent access off Phoenix Court, housing a lettable unit over two floors and the main plant room.

The Phase 3 building is owned by Cumberland Council and has been Managed by Phoenix Enterprise Centre Community Interest Company since 1992, who then took over as landlords in 2014

Application:

This Statement has been prepared to accompany a Full Plans Application within a Conservation Area, for the alterations and refurbishment of the existing building to provide improved accessibility to all floors. As part of the works repairs and upgrades are being made which effect the external appearance of the building and to which this application relates;

- Solar Panels to part of the court yard side roof slope.
- Thermal upgrade and recovering of the existing roof.
- Replacement of all the windows.
- New vents and SVP association with the internal alterations.
- Replacement cast iron effect UPVC guttering and downpipes.

Reference drawing 6028-03 Existing and Proposed Elevations

Use:

The property is an existing office building, the use remains unaltered.

The Site:

As noted above, this application relates to the Phase 3 Building in Phoenix Court, associated with the Phoenix Enterprise Centre. The building is located to the northerly corner of the courtyard, with the front and side elevations bordering the pavements of Earl Street and Cragg Road. The two other elevations are within Phoenix Court.

Layout:

The rectangular footprint has its main entrance on the narrow end of its plan and a further access/egress door on the long courtyard elevation. The principle of the layout remains as existing, with offices, start-up units and welfare facilities located throughout the building but, the introduction of lift access has resulted in the internal layout of the accommodation being reorganised.

Scale and Volume and Appearance:

The scale and volume of the building remains unaltered by the works.

The general appearance of the building will remain relatively unaltered but as part of the refurbishment existing rotten windows are to be replaced, the roof thermally upgraded, solar panels added and some new vents for services required.

The design of the new elements will be such that they are sensitive to the conservation area location, with materials in-keeping with those currently used on the building and surrounding properties.

The configuration and detailing of the timber double glazed windows will be similar to those being replaced but the position of the opening light has been changed for easier operation (without the need of a hooked pole).

The leaking roof is to be thermally upgraded, recovered and solar panels introduced. The positioning of the solar panels, to the courtyard side roof slope, will ensure they do not impact on the streetscape. Set on panels will enable easier removal in the future with the slated roof finish continuing below.

Where possible existing vent penetrations will be reused but where new are required, they will be kept to the courtyard/rear elevations. A new A/C unit and SVP will be located to the courtyard elevations to ensure they are sensitive to the conservation area location.

Landscaping:

No changes are being made to the external areas the proposed works relate to the external envelope and internal layout of the existing building.

Access:

With parking in the surrounding streets/car parks, building users are generally on foot and use the main level entrance off Earl Street. Limited vehicle access can be made into Phoenix court for deliveries to the rear units/Plant room.

Part M Compliance:

A raised section of the ground floor of the existing building means, despite level access at the front entrance, the existing building is inaccessible by wheelchair users. Multiple platform lifts are proposed as part of the refurbishment works, with additional accessible WC and tea/coffee making facilities proposed to create a more accessible building.

Foul, Surface Water and Flood Risk:

The site is identified on the Environment Agency's Flood Maps for Planning as being flood zone 1, an area with a low probability of flooding.

The development will be connected to the existing combined sewer.