

Design and Access Statement

Ms A. Taylor

**Proposed Replacement Dwelling,
Vale View, Egremont**

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Use :

The planning application submitted seeks full planning, for the construction of a Replacement Dwelling, single detached house, to land off Vale View, Egremont.

The Site :

The application site is approximately 0.04ha area of made up of consolidated ground, following the demolition of a former dwelling in 2012 and instillation of new flood defences along the riverbank boundary in 2013.



Dwelling Demolished

Remaining Property

Image 1: Google image of Site April 2011 showing garden wall and property subsequently demolished



Image 2 left: Site April 2021, cleared site with flood defence wall to river/rear boundary. Image 3 right: area where former building was located.

Layout :

The proposed dwelling is located towards the Western side of the site enabling the existing vehicle access position to be retained, with parking towards the East of the site, where the former dwelling was located. This layout was established following early conversations with the environment agency, to enable potential future access for maintenance/repair of the flood defence wall and adjacent weir.

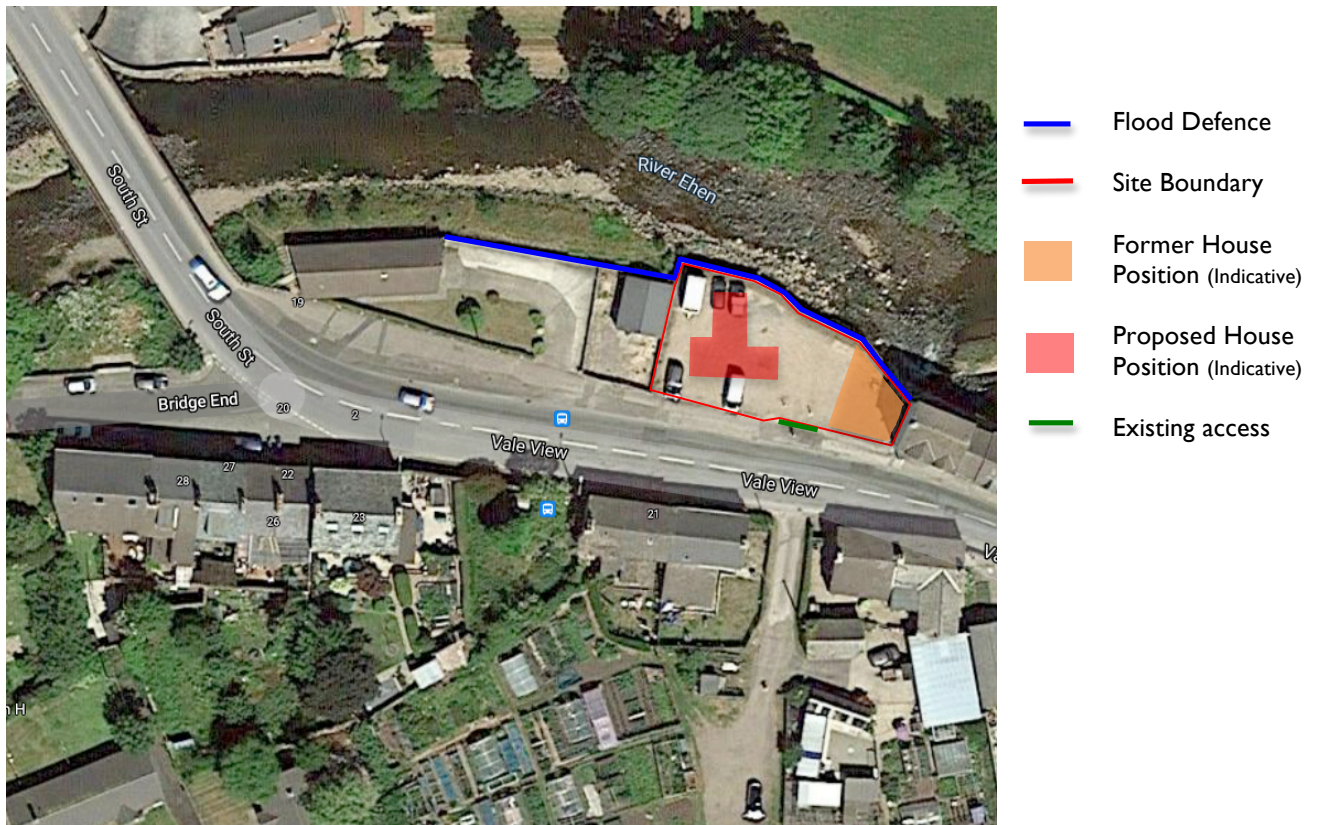


Image 3: Google image of Site Annotated.

Internally three bedrooms, a bathroom and utility are located on the ground floor while, the main living accommodation and master bedroom will be located to the first floor. A balcony and external stair will be accessed from the first floor living accommodation. (Reference images 4 & 5)



Image 4: Site plan including Ground Floor Layout.

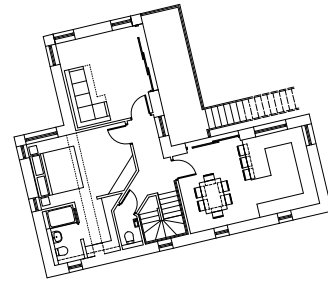


Image 5: First Floor Layout.

The front elevation line will be close to parallel with the opposite housing although it will be set back from the pavement edge, behind a garden wall, as the neighbouring single storey premises to the west. (Reference images 6,7&8)

Scale and Volume :

The planning application sees the proposal of a single, detached, two storey dwelling. The internal ground floor level is raised to provide flood resistance however, the height and proportions of the proposed dwelling still step down from that of the three-story end of terrace to the east. Although taller overall than the single story premises to the west, the two storey design of the proposed dwelling reflects the principles of the two-story housing opposite.

Appearance :

The appearance and choice of materials have been proposed to complement the vernacular architecture, of the surrounding area, resulting in a contemporary aesthetic, which respects its context without being a pastiche design.

The roadside elevation is traditional in its styling, render and stone with banding details to reflect the terraced properties opposite. The central stone section prevents the elevation from being too simple and highlights the entrance. If possible, stone from the demolished house will be reused as a further link to the sites past. (Reference images 6,7&8)



X

Image 6: Proposed front elevation.



Image 7 lft: Elevation of properties opposite and Image 8 rgt: Property adjacent, behind garden hedge.

To the rear, the design reflects the riverside elevations of neighbouring properties to the East, with timber style cladding, glazing and balconies offering views over the river. (Reference images 9&10)

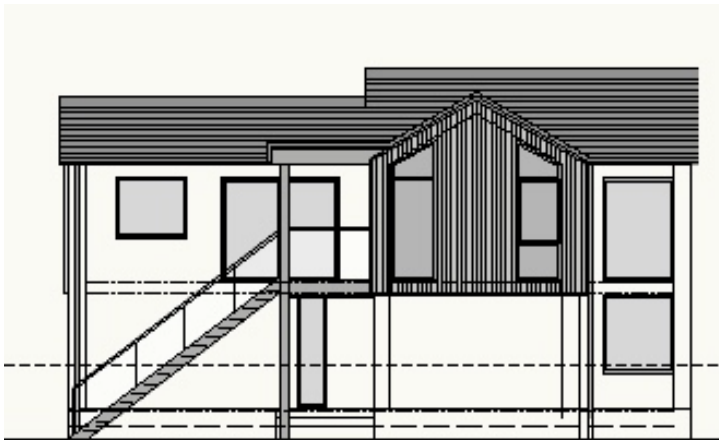


Image 9 lft: Proposed rear, riverside elevation and Image 10 rgt: Rear riverside elevations of adjacent premises.

Landscaping :

The site is currently made up ground with compacted hard-core surface finish, boulders to the southern boundary and a gated entrance. To the rear/river boundary is a 1500mm flood defence wall. To the east the end gable of the terraced housing and to the west a timber fence with timber shed adjacent.

The proposed scheme sees the introduction of parking/turning head, patio area and paths all of which would be finished in permeable materials. The remaining site will be lawn/planting associated with a domestic garden.

To the front boundary a rendered wall is proposed, generally 1500mm high with gated access to the parking / front garden. The wall towards the East will be 1800mm, reinforcing the line of the former terraced dwelling previously demolished while also offering some privacy to the garden behind.

Access :

The existing vehicle access point is retained with gated access and a pedestrian gate, with graded ground to provide level access to the front door. The site would allow suitable provision for parking ,adequate to serve the size of property proposed. A space to turn would also allow access from the site, to the highway, in a forward direction. As previously noted this also allows for maintenance/repair access to the flood defences/adjacent weir if necessary.